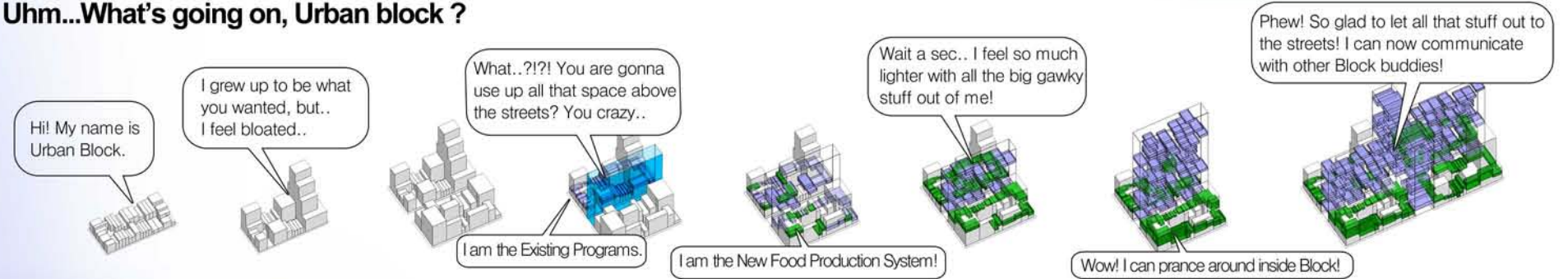


# Urban Farming : The City's Balancing Act

Food product integration strategy for new urban branding in Manhattan's Theater District



Uhm...What's going on, Urban block ?



All organisms equalize.

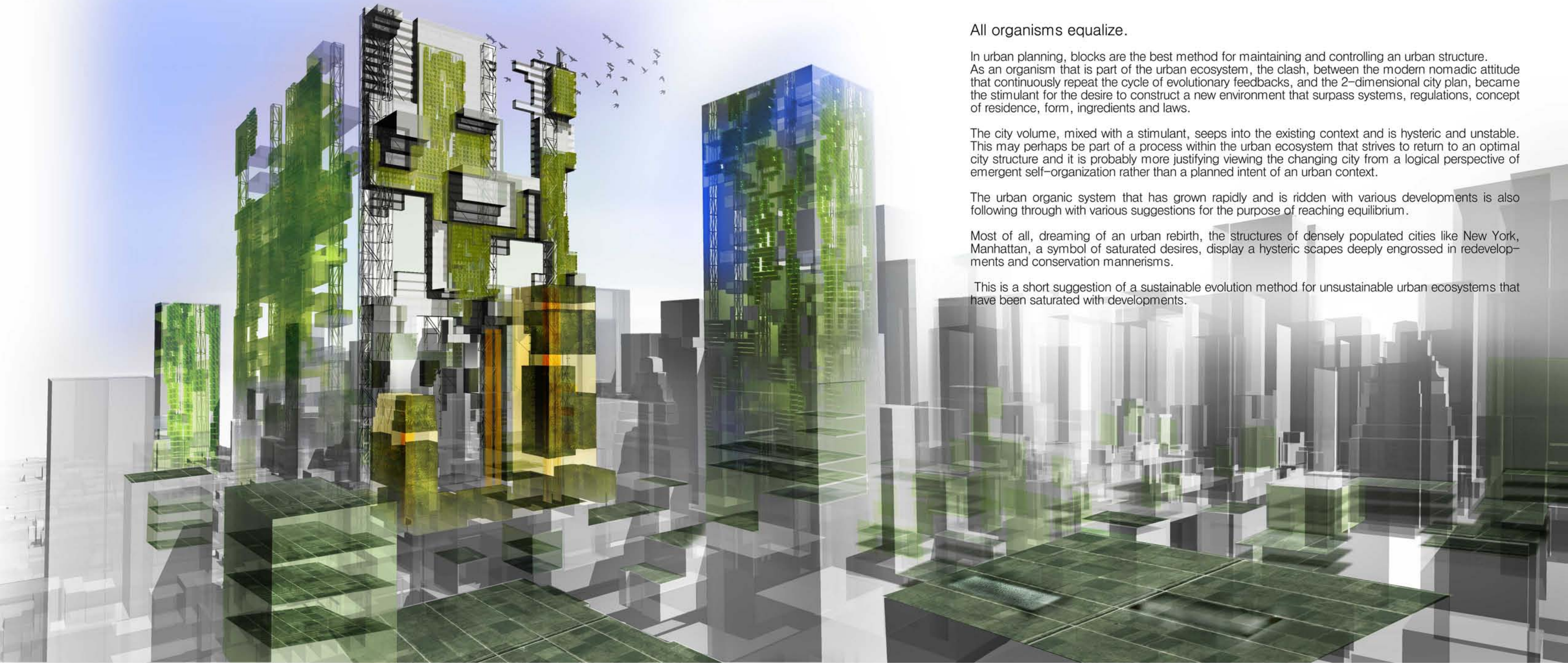
In urban planning, blocks are the best method for maintaining and controlling an urban structure. As an organism that is part of the urban ecosystem, the clash, between the modern nomadic attitude that continuously repeat the cycle of evolutionary feedbacks, and the 2-dimensional city plan, became the stimulant for the desire to construct a new environment that surpass systems, regulations, concept of residence, form, ingredients and laws.

The city volume, mixed with a stimulant, seeps into the existing context and is hysteric and unstable. This may perhaps be part of a process within the urban ecosystem that strives to return to an optimal city structure and it is probably more justifying viewing the changing city from a logical perspective of emergent self-organization rather than a planned intent of an urban context.

The urban organic system that has grown rapidly and is ridden with various developments is also following through with various suggestions for the purpose of reaching equilibrium.

Most of all, dreaming of an urban rebirth, the structures of densely populated cities like New York, Manhattan, a symbol of saturated desires, display a hysteric scapes deeply engrossed in redevelopments and conservation mannerisms.

This is a short suggestion of a sustainable evolution method for unsustainable urban ecosystems that have been saturated with developments.

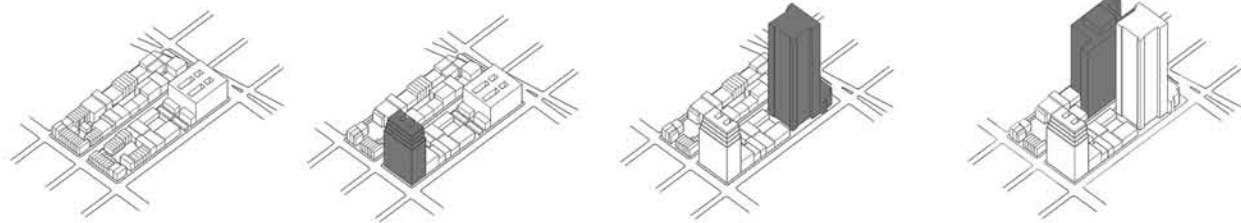




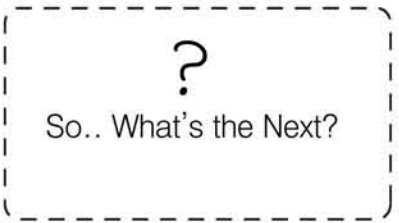


Midtown, Manhattan Residential Commercial Open Space & Public Facilities Vacant Land

### Midtown Theater District block (w 46st - w 44st)



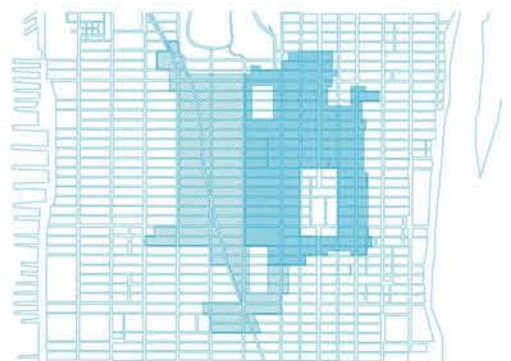
1910 The block prospered with the success of entertainment.  
 1930 The Milford Hotel merged several buildings.  
 1970 The One Astor Hotel turned into a large mixed-use office building, the One Astor Plaza in 1972.  
 1990~2010 The Marriott Marquis Hotel was erected after demolishing 5 small preexisting theaters.



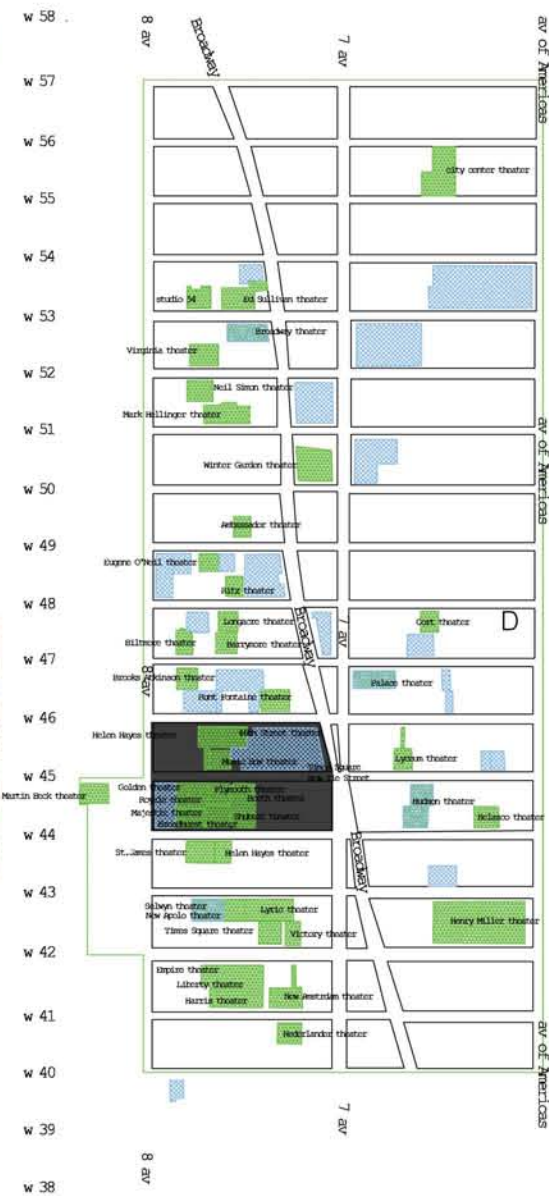
In conclusion, the difference in scale between One Astor Plaza, Marriott Marquis Hotel and small scale hotels became a threat for small theaters that need to be preserved by severing the flow of Broadway.

Therefore, the Transfer of Development Rights (TDR) that allow the transfer of landmarks that needs to be preserved and the transfer of air rights of superior authority to any lot within the theater district (40~57st, 6~8 ave.) has been made possible with various developments in the district, extreme differences in floor area ratio has left the streets losing vitality and the district's renown in retreat.

### MIDTOWN DISTRICT Stable Region / Growth Region



Theater  
 Hotel



Incentive zoning of Midtown, Manhattan has diversified the downtown skyscrapers. As a result, the development at the eastside district is already underway, and because any further increase in the floor area ratio would lead to environmental destruction, the district was designated as floor area ratio restriction area. However, the Westside where the Time Square and the theatre district are located became a floor area ratio alleviation district due to the relatively low floor area ratio and severe environmental deterioration.

### Times Square & Theater Special District



Times Square and the Theater District are the center of the city's cultural, theatrical, and entertainment world, generating significant pedestrian and vehicular traffic: it is estimated that the area attracts 31 million tourists annually. Times Square is "the crossroads of the world" and Broadway is synonymous internationally with theater. Each year the 39 Broadway theaters, 33 of which are landmarks, draw nine million people. The district's 20 hotels, with one-fifth of all hotel rooms in the city, lodge 1.7 million guests. The area also boasts 200 restaurants and several museums, cinemas, and concert halls. There are 46 open spaces in or on the edge of the study area, including Central Park, Bryant Park, Rockefeller Center, and 11 mid-block building plazas and passageways accessible to the public.

### Please Take The Air Right Above My Infrastructure!

Take the air right on streets !

The Average of Total Floor Area Ratio (FAR) of the Blocks

#### Existing Program Theater District block (w 46st - w 44st)

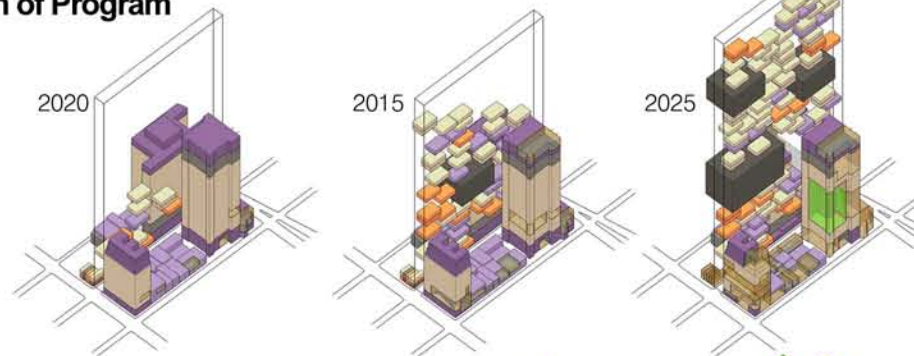
#### New Program : Sustainable Structure for Theater District

Green Community: Farm field, Orchard, Swamp, Park

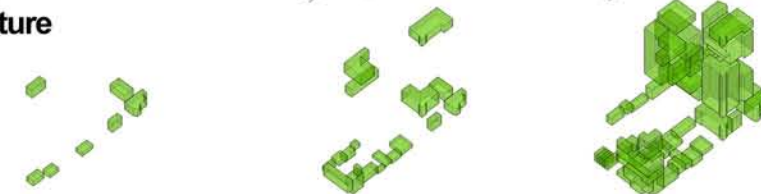
Social Community: Theater museum, Performing place, Cultural institution

Joint space with the building that needs preservation or the space of mixed-use program is slowly changing into sustainable structures such as rotational farms or parks. Meanwhile, space that has changed into nature is given the incentive of infrastructural air rights. Air rights are slowly increasing and are changing into an urban energy resource surpassing the farm or the park.

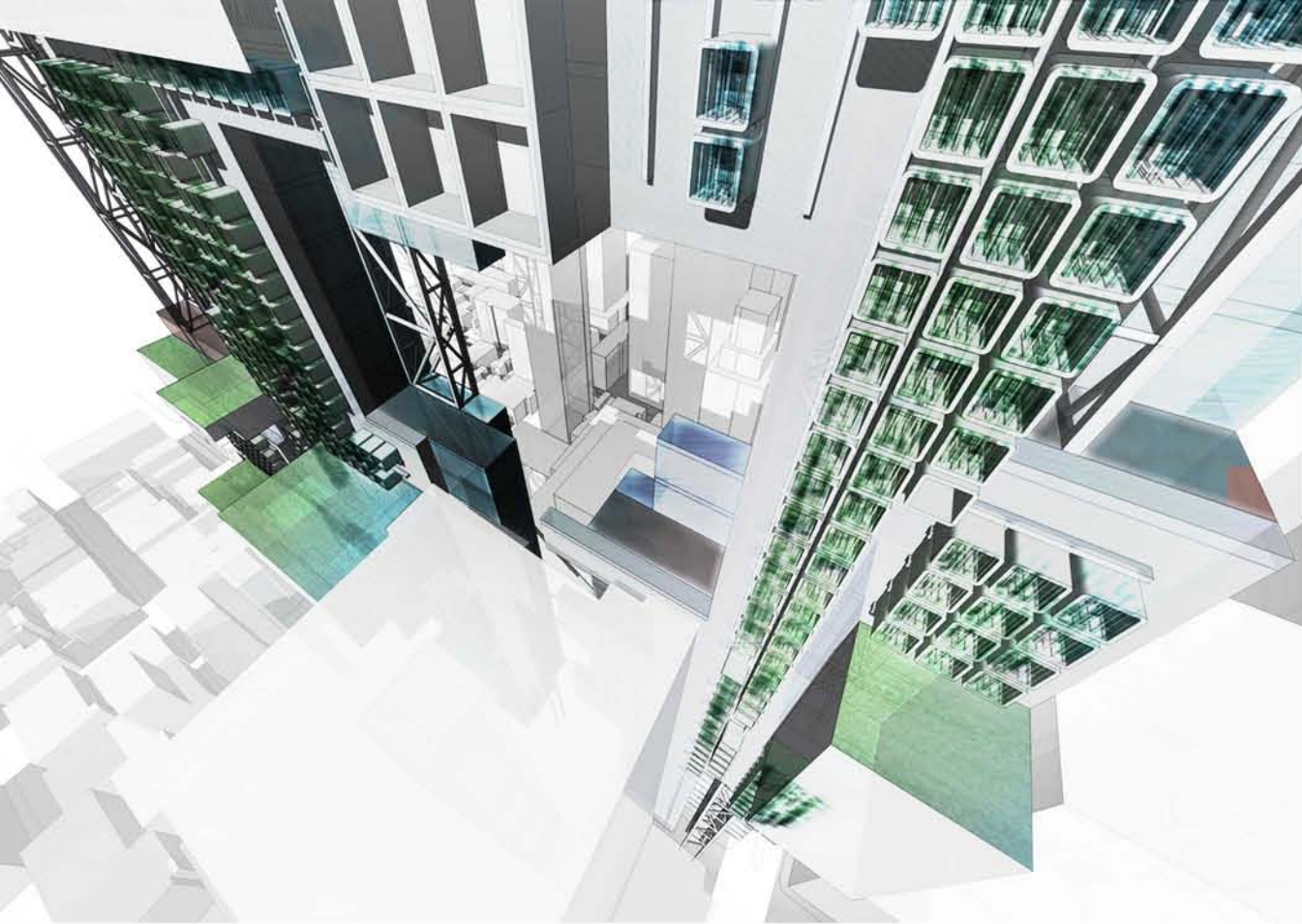
### Relocation of Program



### Sustainable Structure





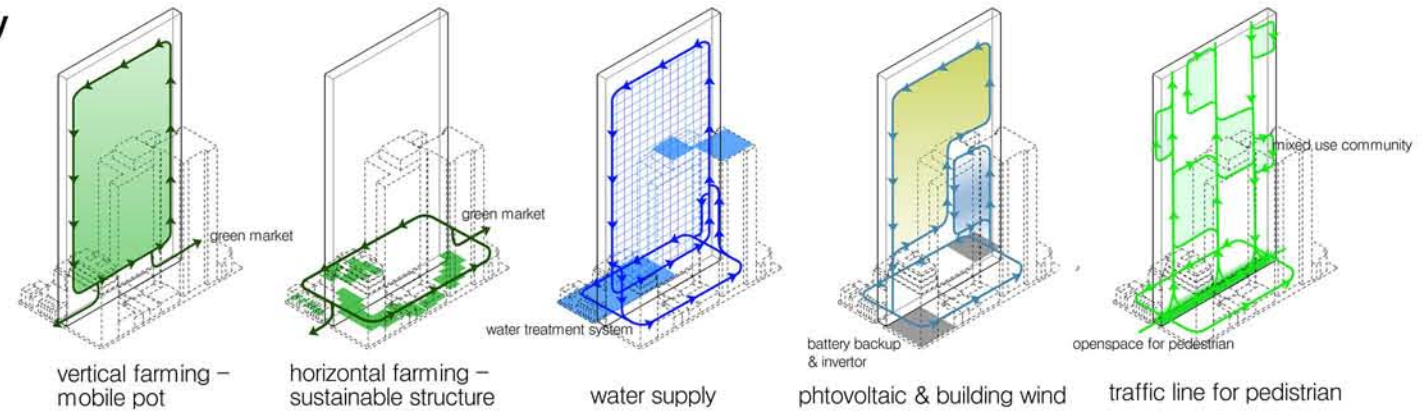


Combination Flow Chart

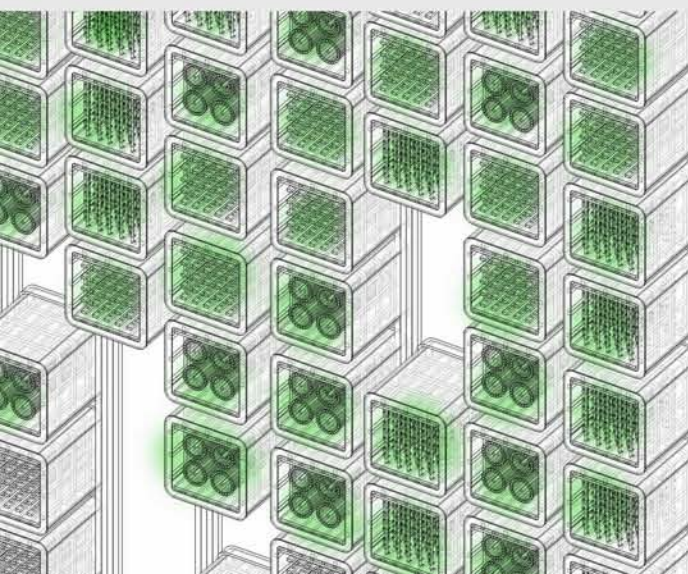
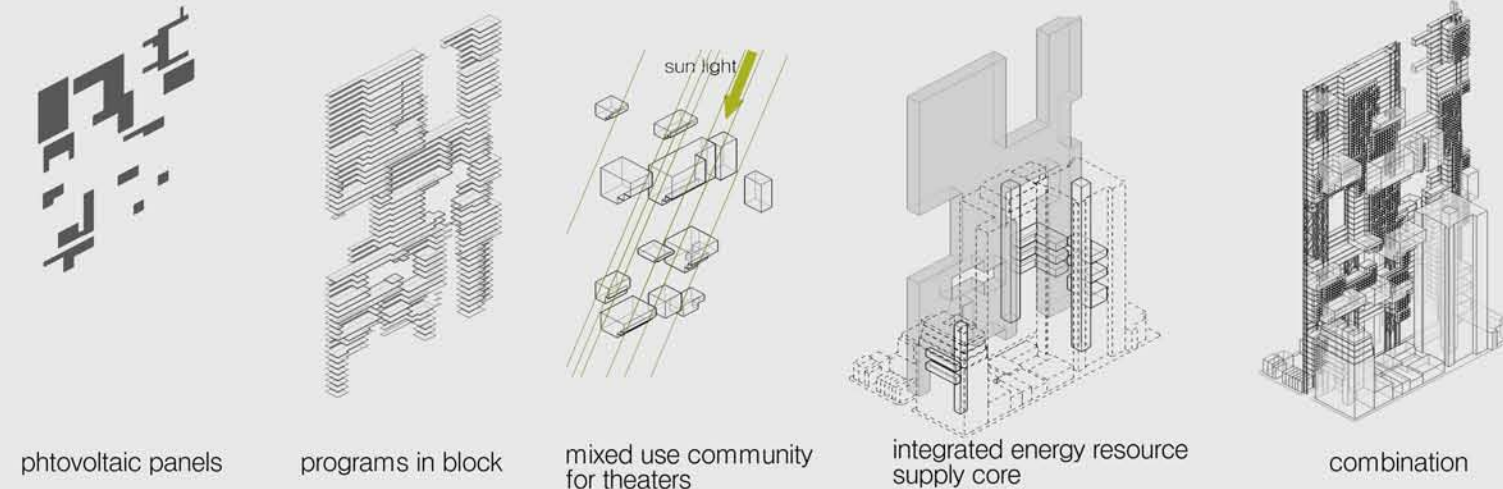
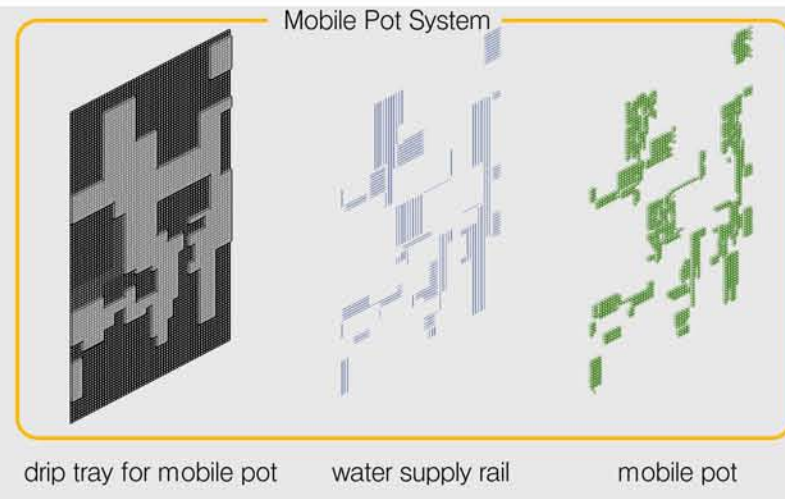
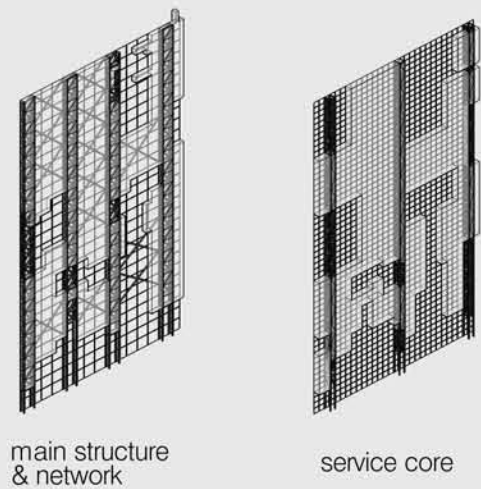
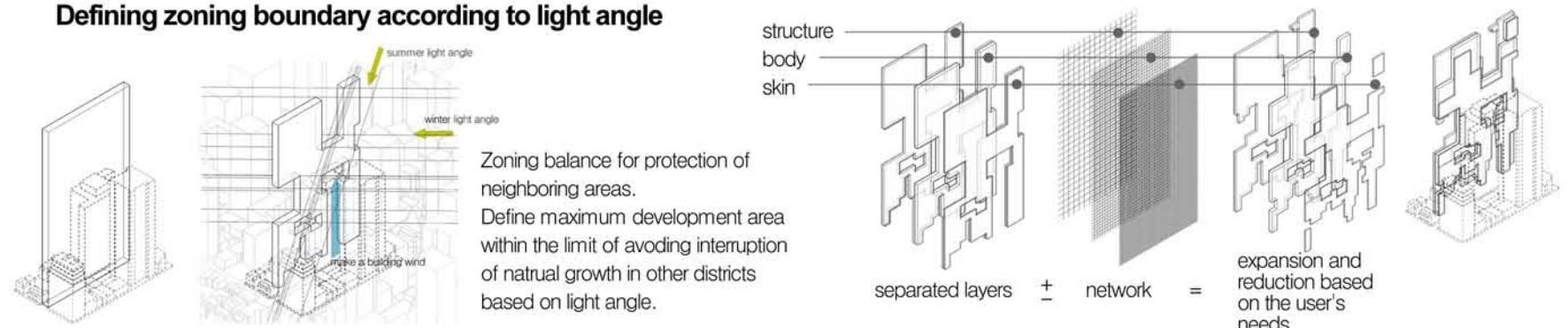
### Integration with New Air Right Construction

Through vertical combination and block to block combination of programs transferred from preexisting buildings, the air rights construction enables the creation of a new community and a social condenser to suggest a new possibility in urban zoning. Buildings that are not preservable make the transition into energy sources for the new air rights construction and become a superbloc with one superb permeability.

### Energy Circulation Strategy



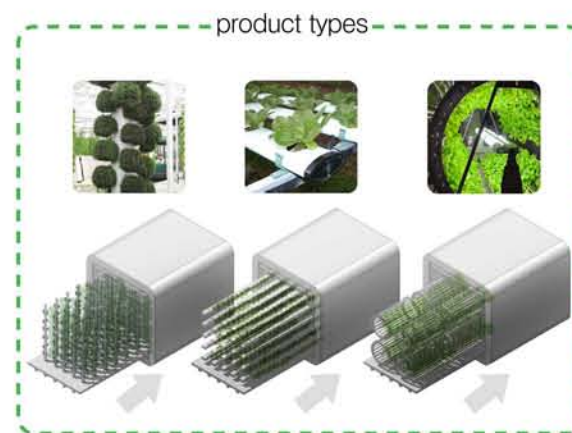
### Defining zoning boundary according to light angle



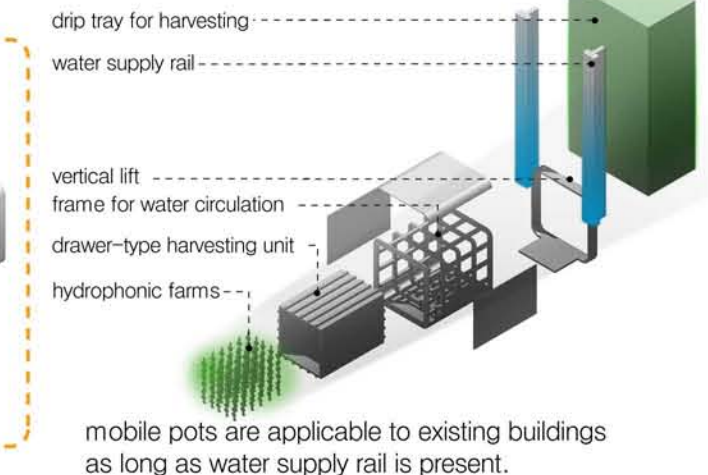
### Mobile Pot

I propose Mobile Pot, an agent for creating various forms of agriculture and markets. Mobile Pot moves through the same rails by which electricity and water are supplied, in order to produce crops of great variety and large quantities. Processing related to production is managed by smart phones, and the Mobile Pots are transported in appropriate sizes to the open spaces in the Theater District and other areas through the Transportation Hub.

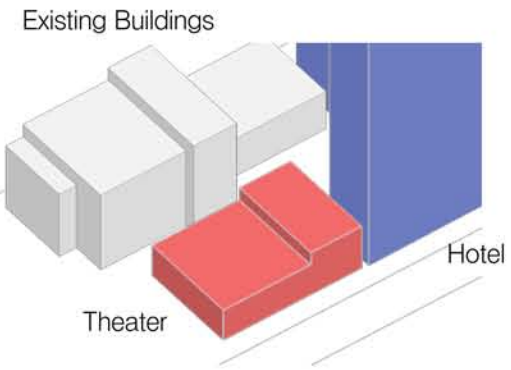
### Mobile Pot Types



### Exploded View



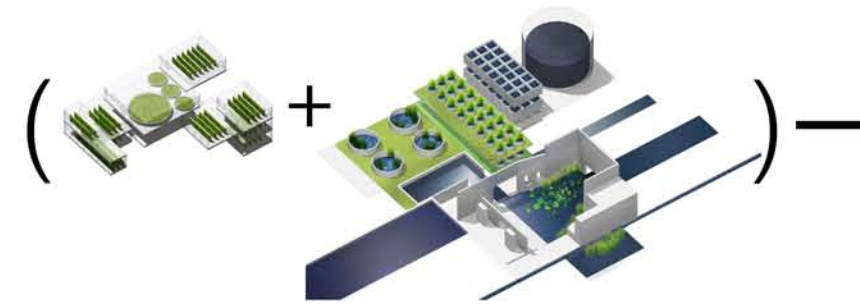




### Integration with Existing Buildings

To unite preexisting buildings and urban agriculture, suggestion is made for the altering of a portion of the existing buildings of the block where the program migration is complete, into a water resource processing facility. This is indeed a very adequate building alteration for New York, Manhattan which has many buildings that require preservation but are deemed not preservable (problems in structural integrity, degradation etc). A water resource processing facility within the block can provide new opportunities for city's lifestyle change (creation of green community, social community etc). While new genres of the preexisting urban agriculture begin at the construction of a new structure or the designation of a new location, urban agriculture has to be defined as an economic, environmental, and/or social role within the urban community structure rather than by its location or construction.

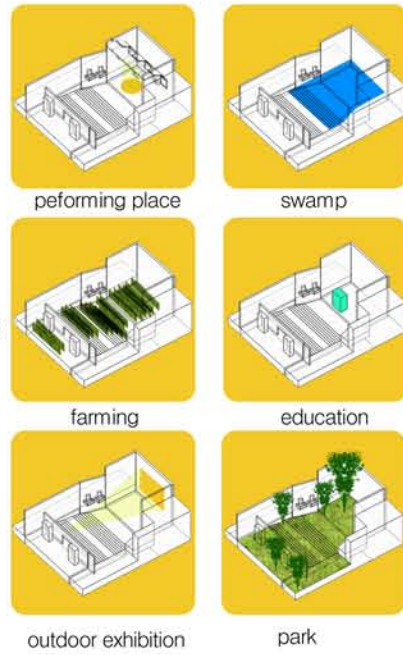
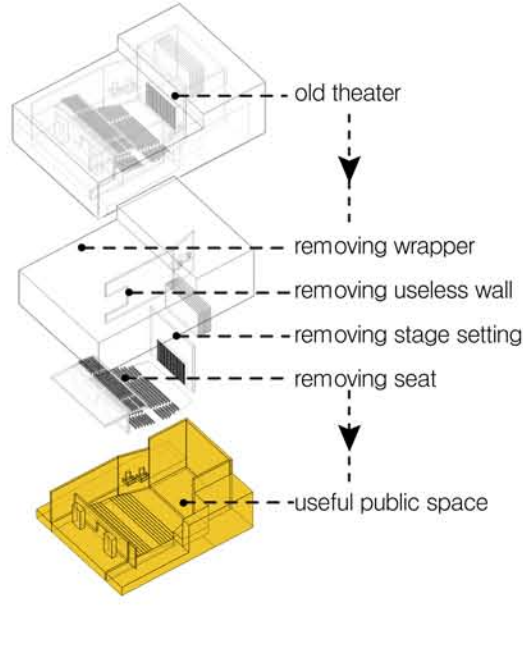
farmfield included in sustainable structure    water treatment system in Urban block



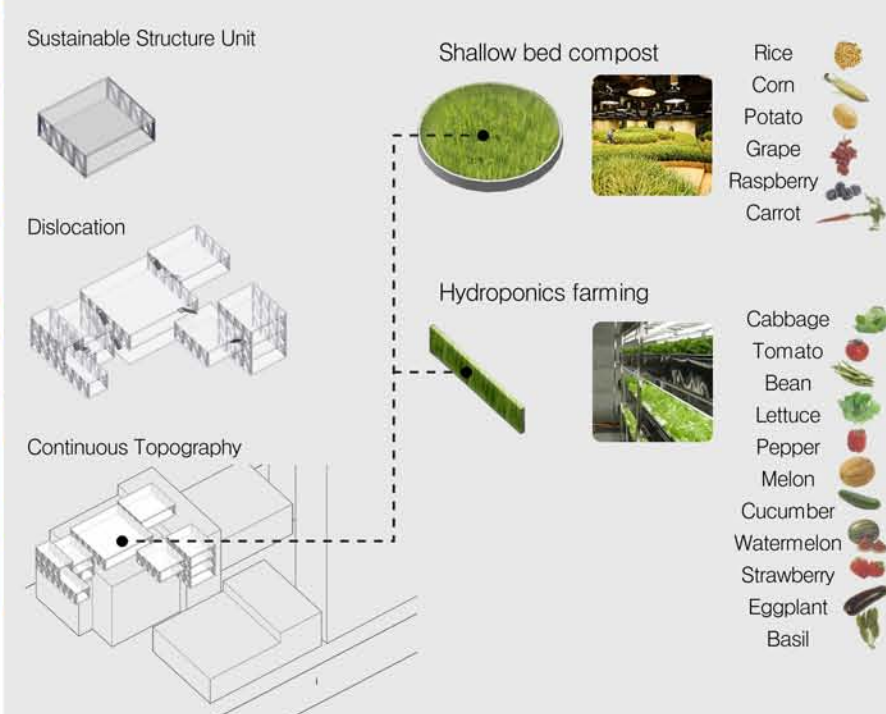
Theater District block (w 46st - w 44st)



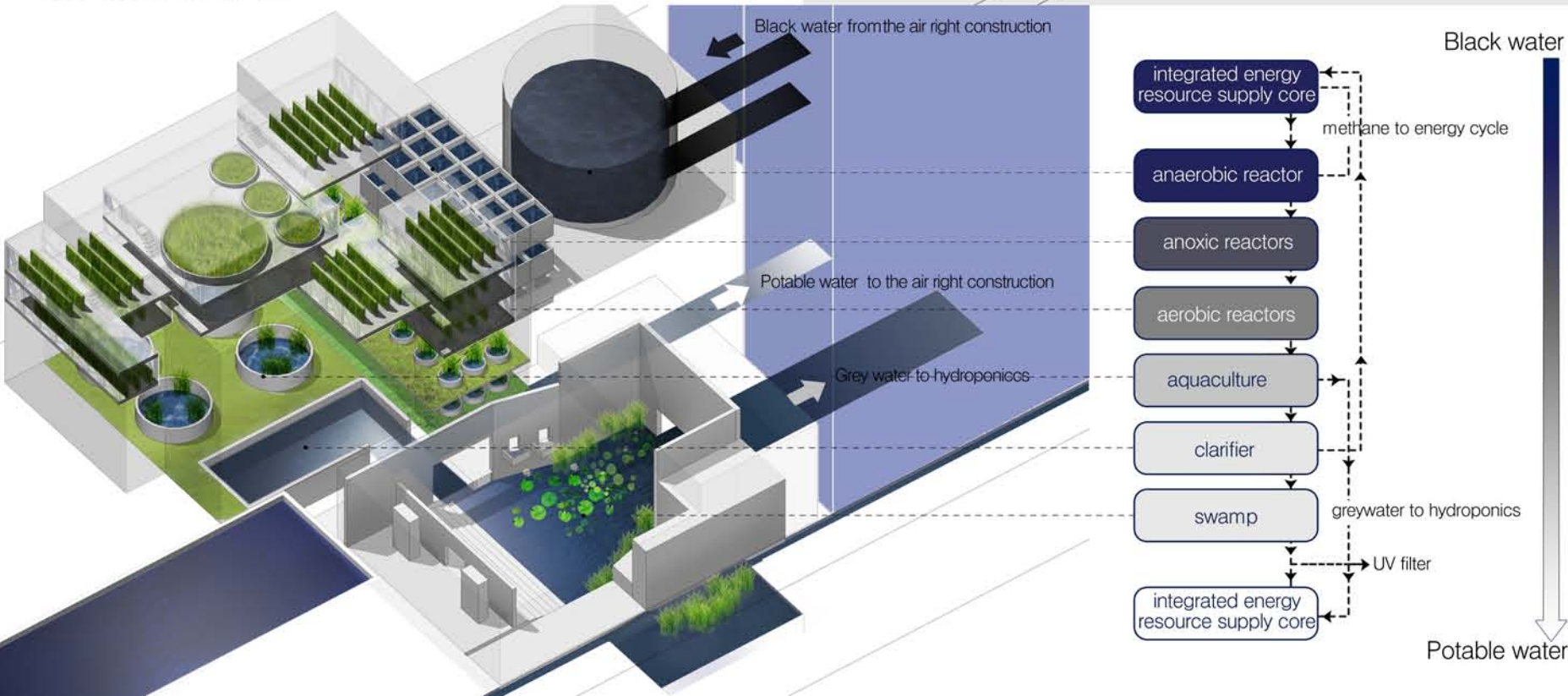
### Preservation Method for an Old Theater: Leave It as Public Space



### Insert a Sustainable Structure Within The Existing Structure



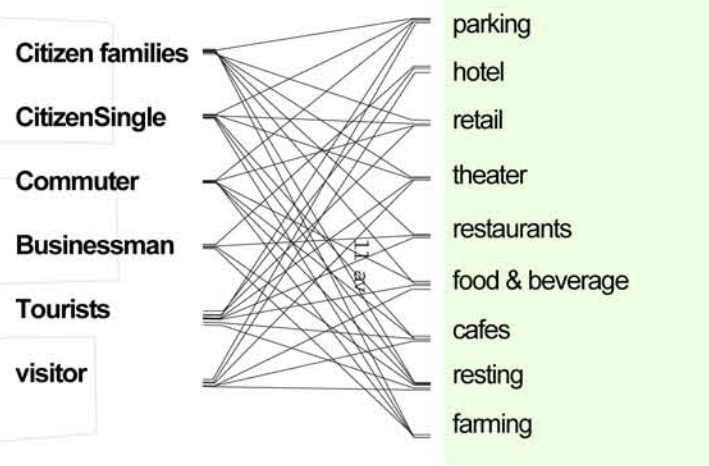
### Water Treatment system



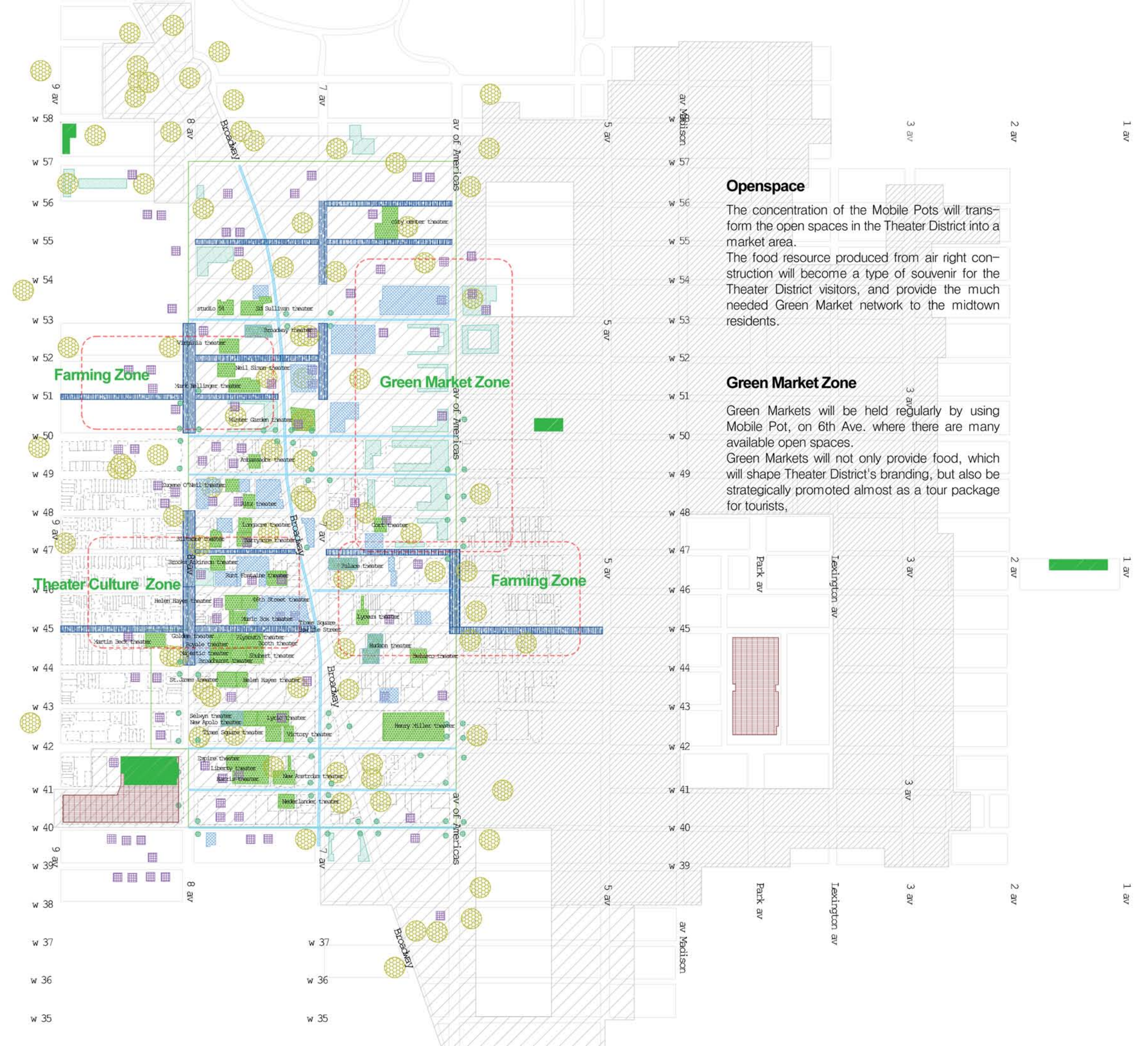


## Integration with Urban Branding

The theater district can earn a step higher branding due to sustainable farming, combined preexisting buildings and air rights constructions. Especially, tourists and visitors seeking the theater district are provided with eco-friendly food that were harvested onsite through the linked hotels and restaurants, and through the periodical open food market held at the district's open spaces, the district's name value is raised, surpassing simple food production dimension to ultimately branding the city.



- air right construction
- openspace
- green market
- hotels
- theaters
- wifi zone
- transportation hub
- parking
- entrances & exits to subway stations
- major corridors & Transit corridors



## Openspace

The concentration of the Mobile Pots will transform the open spaces in the Theater District into a market area. The food resource produced from air right construction will become a type of souvenir for the Theater District visitors, and provide the much needed Green Market network to the midtown residents.

## Green Market Zone

Green Markets will be held regularly by using Mobile Pot, on 6th Ave. where there are many available open spaces. Green Markets will not only provide food, which will shape Theater District's branding, but also be strategically promoted almost as a tour package for tourists.